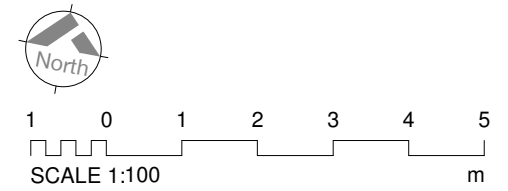


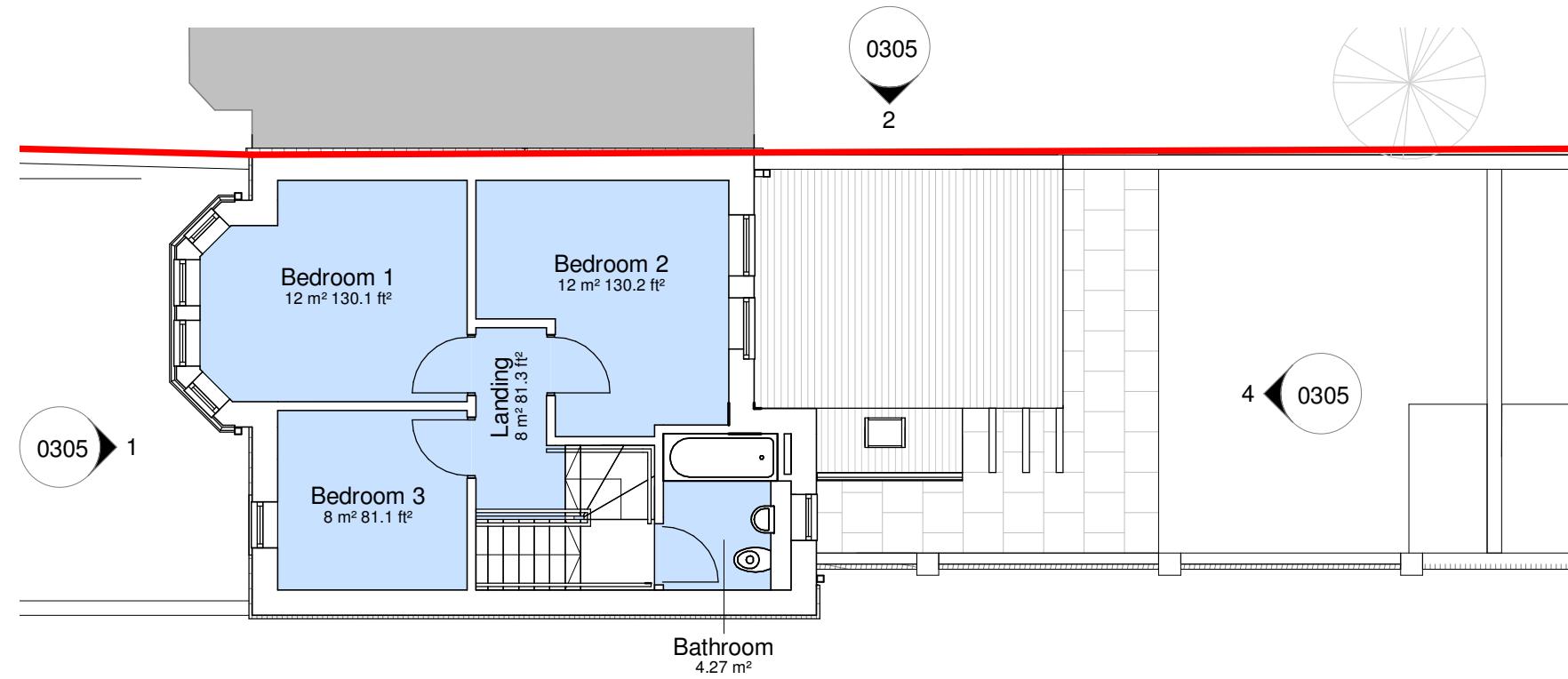
**Note:**  
These plans show the layout for House 1  
House 2 is handed the opposite way, see drawings 4370-0200 & 0201 for the proposed site layout

**Notes**  
This drawing may be scaled for the purposes of Planning Applications, Land Registry and for Legal plans where the scale bar is used, and where it verifies that the drawing is an original or an accurate copy. It may not be scaled for construction purposes.  
Always refer to figured dimensions. All dimensions are to be checked on site. Discrepancies and/or ambiguities between this drawing and information given elsewhere must be reported immediately to this office for clarification before proceeding. All drawings are to be read in conjunction with the specification and all works to be carried out in accordance with latest British Standards / Codes of Practice.

Rev	Date	Init	Notes	Chkd
C	22/07/21	SW	Parking arrangement amended	IS
B	30/06/21	SW	Revised following comments from planning consultant	IS
A	23/04/21	SW	Revised Planning Issue	IS



**Ground Floor Plan**  
1 : 100



**First Floor Plan**  
1 : 100

Client

**CASTELNAU**  
Strategic Property Investment

Drawing Originator

**AWW** inspired environments

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Project Title  
**Southchurch Road**  
**613-619 Southchurch Road**  
**Southend SS1 2PN**

Drawing Title  
**End Terrace House Plans**

Scale	Sheet	Drawn	Checked	Date
1 : 100	A3	DH	IS	

Status	Project No.	
<b>PLANNING</b>	<b>4370</b>	
Drawing Reference	Drawing No.	Revision
<b>SCR-AWW-A-DWG</b>	<b>0210</b>	<b>C</b>